

PAYNTER'S MILL SUSSEX COUNTY, DELAWARE

GMB File No. 2002153

LIST OF DRAWINGS

01	COVER SHEET
02	KEY PLAN
10.1	TYPE B STORMWATER CONTROL PLAN AND FRANCHISE PLAN
10.2	PIPE DETAILS
10.3	EROSION AND SEDIMENT CONTROL PLAN AND DETAILS
10.4	STORM DRAIN DETAILS

GENERAL CONDITIONS

1. The Contractor shall be responsible for obtaining all necessary permits for this project from the appropriate local, state and federal agencies.

2. The Contractor shall be responsible for obtaining all necessary easements and rights-of-way for this project from the appropriate landowners.

3. The Contractor shall be responsible for obtaining all necessary utility information for this project from the appropriate utility companies.

4. The Contractor shall be responsible for obtaining all necessary information for this project from the appropriate local, state and federal agencies.

5. The Contractor shall be responsible for obtaining all necessary information for this project from the appropriate landowners.

6. The Contractor shall be responsible for obtaining all necessary information for this project from the appropriate utility companies.

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9. The Contractor shall be responsible for obtaining all necessary information for this project from the appropriate utility companies.

10. The Contractor shall be responsible for obtaining all necessary information for this project from the appropriate local, state and federal agencies.

NOTES

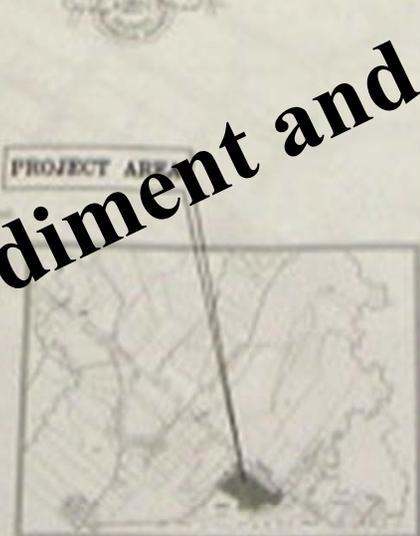
1. See drawing 10.1 for details of the stormwater control plan.

2. See drawing 10.2 for details of the pipe details.

3. See drawing 10.3 for details of the erosion and sediment control plan.

4. See drawing 10.4 for details of the storm drain details.

The Sediment and Stormwater Plan



SITE DATA TABLE

DESCRIPTION	VALUE
PROJECT AREA	1.5 ACRES
EXISTING IMPERVIOUS AREA	0.5 ACRES
EXISTING PERMEABLE AREA	1.0 ACRES
EXISTING CURB CUT	100' x 10' x 10'
EXISTING DRIVEWAY	10' x 10' x 10'
EXISTING SIDEWALK	10' x 10' x 10'
EXISTING STORM DRAIN	10' x 10' x 10'
EXISTING UTILITY	10' x 10' x 10'
EXISTING EROSION CONTROL	10' x 10' x 10'
EXISTING SEDIMENT CONTROL	10' x 10' x 10'
EXISTING STORMWATER CONTROL	10' x 10' x 10'
EXISTING FRANCHISE PLAN	10' x 10' x 10'
EXISTING EROSION CONTROL	10' x 10' x 10'
EXISTING SEDIMENT CONTROL	10' x 10' x 10'
EXISTING STORMWATER CONTROL	10' x 10' x 10'
EXISTING FRANCHISE PLAN	10' x 10' x 10'

GMB
GENERAL MECHANICAL & BUILDING, LLC
1000 W. MARKET STREET, SUITE 200
DELAWARE, DELAWARE 19801
TEL: 302.438.1234
WWW.GMB-LLC.COM

SEPTEMBER 2002

Sediment and Stormwater Planning Objectives

- Minimize the impact of the increased rate and volume of stormwater runoff
- Provide for pollutant removal
- Provide for source reduction of pollutants and contaminants
- Design BMP's that are physically appropriate, cost effective, consider maintenance and safety
- Design to take advantage of natural drainage, existing topography and land features
- Provide for effective erosion and sediment control during all phases of construction

Planning Considerations

- The worst case runoff conditions are during construction.
- The downstream landowner doesn't want to hear that things will improve once everything is stabilized.



Sediment and Stormwater Plans Designed By A Qualified Professional

- Professional Engineer
- Registered Landscape Architect
- Professional Land Surveyor
- More frequently a multi-disciplinary team



Plans Are Reviewed At The Local Agency Level



Plan Review Checklist



Sediment & Stormwater Plan Review Checklist

DATE RECEIVED: _____ PROJECT NUMBER: _____

PROJECT NAME: _____

Section G: General Information
Section N: Notes
Section E: E & S
Section S: Stormwater Management

Section G:

1. _____ Completed application signed by the owner, one set of plans, and the checklist must be submitted for review.
2. _____ Provide the name, mailing address, and phone number of the owner of the property, the land developer, the engineer or consultant and the applicant. Provide names of adjacent property owners on the plan.
3. _____ Provide a legend on the Sediment and Stormwater Management Plan.
4. _____ Provide a "limit of disturbance" line and the disturbed area in acres on the plan.
5. _____ Provide a vicinity map with a scale no smaller than 1" = 1 mile.
6. _____ Provide a north arrow on plan.
7. _____ Maximum plan scale of 1" = 100'.
8. _____ Plans should be submitted on 24" x 36" (minimum) sheets unless otherwise approved.
9. _____ When two (2) or more sheets are used to illustrate the plan view, an index sheet is required, illustrating the entire project on one (1) 24" x 36" (minimum) sheet.
10. _____ Provide existing and proposed contours based on mean sea level datum provided at one (1) foot intervals. Total contributing drainage are must be shown regardless of being located on or off-site.
11. _____ Provide existing and proposed spot elevations based on mean sea level datum provided on a fifty-foot grid system. Include high and low points. (This is for small projects only).
12. _____ State and Federal Wetlands must be accurately delineated.
13. _____ The National Flood Insurance Program 100 Year Flood Zone must be delineated.
14. _____ Provide soils mapping on plan with a general description of each soil.
15. _____ All streams and drainage ways must be delineated.
16. _____ All sediment and stormwater management practices must be located on the plan.
17. _____ Provide corner and lowest floor elevations for all buildings.
18. _____ Provide the volume of any spoil or borrow material.
19. _____ Show project benchmark and identify elevation and date.

Section N:

1. _____ Include a note that specifies that the DNREC, Sediment and Stormwater Management Program must be notified in writing five (5) days prior to commencing with construction. Failure to do so constitutes a violation of the approved sediment and stormwater management plan.
2. _____ Include the following statement: "Review and/or approval of the Sediment and Stormwater Management Plan shall not relieve the contractor from his or her responsibilities for compliance with the requirements of the Sediment and Stormwater Regulations, nor shall it relieve the contractor from errors or omissions in the approved plan."
3. _____ Include a signed Owner's Certification that states "I, the undersigned, certify that all land clearing, construction and development shall be done pursuant to the approved plan." This must be signed in ink on each plan submitted or on an original reproducible.

- Designed to provide consistency
- Helps the designer focus on the plan requirements
- Helps the review agency know what is missing

Application

Delaware DNREC
 Div. of Soil & Water Conservation
 89 Kings Hwy
 Dover, DE 19901
 Phone: (302) 739-4411
 FAX: (302) 739-6704



APPLICATION FOR SEDIMENT AND STORMWATER MANAGEMENT PLAN APPROVAL

PROJECT OR CONTRACT NUMBER: _____
 PROJECT DESCRIPTION: _____
 PROJECT LOCATION: _____ township _____ county _____ hundred/lot parcel # _____
 PROJECT DISTURBED AREA IN ACRES: _____
expressed as acres and tenths of acres (to 4.2 acres)
 OWNER/DEVELOPER NAME: _____
 OWNER/DEVELOPER ADDRESS: _____ street _____ city _____ zip _____
 OWNER/DEVELOPER PHONE # (_____) _____ FAX # (_____) _____
 CONSULTANT/ENGINEER NAME: _____
 CONTACT PERSON/PROJECT ENGINEER: _____
 CONSULTANT/ENGINEER ADDRESS: _____ street _____ city _____ zip _____
 CONSULTANT/ENGINEER PHONE # (_____) _____ FAX # (_____) _____

FOR OFFICE USE ONLY	<input type="checkbox"/> DESIGN REPORT	STATE OF DELAWARE DNREC SEDIMENT AND STORMWATER MANAGEMENT PLAN
	<input type="checkbox"/> PLAN	
	<input type="checkbox"/> CHECKLIST	
	FE PAID \$ _____ APPROVED BY _____	
PERMIT # _____	DATE _____	TITLE _____

Certification

OWNER/DEVELOPER CERTIFICATION

"We certify that the information on this form and the attached plans is true and accurate to the best of my/our knowledge."
 "We understand that DNREC may request information in addition to that set forth herein as may be deemed appropriate in considering this application."
 "We will abide by the conditions of this approval as issued."
 "We hereby certify that all clearing, grading, construction and/or development will be done pursuant to the approved plan, and that all responsible personnel involved in the land disturbing activities will have a Sediment and Stormwater Management Certification from the Delaware Department of Natural Resources and Environmental Control."
 "We hereby authorize the right of entry for periodic on-site inspections by State of Delaware, Department of Natural Resources and Environmental Control compliance personnel and/or authorized agents."

Owner/Developer Signature _____ Date _____

Owner/Developer Name and Title (Printed or typed) _____

DESIGNER CERTIFICATION

"I hereby certify that, to the best of my knowledge, information, and belief, this plan has been designed in accordance with the current Delaware Erosion and Sediment Control Handbook and the Delaware Sediment and Stormwater Regulations."

Designer Signature _____ Date _____ Delaware Reg. No. (if applicable) _____

Designer Name and Title (Printed or typed) _____ Type (P.E., P.L.S., R.A., or R.L.A.) _____

AGENT AUTHORIZATION

(If this authorization form is completed with the application, all future correspondence may be signed by the duly authorized agent.)

I, _____ hereby designate and authorize the following identified agent to act on my behalf in the processing of this application and to furnish any information that is requested.

AGENT NAME: _____

AGENT ADDRESS: _____ street _____ city _____ zip _____

AGENT PHONE # (_____) _____ FAX # (_____) _____

Owner/Developer Signature _____ Date _____ Agent Signature _____ Date _____

Notice of Intent



Notice of Intent (NOI) for Storm Water Discharges Associated With CONSTRUCTION ACTIVITY Under a NPDES General Permit

RECEIVED _____
 DATE _____

I. Applicant Information

Owner/Operator: _____

Contact Person Last Name: _____

Contact Person First Name: _____ MI _____ Prefix _____ Suffix _____

Mailing Address 1: _____

Mailing Address 2: _____

City: _____ State: _____ Zip: _____

Telephone: _____ FAX: _____

II. Project Information

Project Name: _____

Project Location: _____

Project Address: _____

City: _____ State: _____ Zip: _____

County: _____ Municipality: _____

Project Type:
 Federal Municipal Residential Other (specify) _____
 State DelDOT Commercial _____
 County Private Utility Industrial _____

Center of Site
 Latitude: _____ Longitude: _____

Has the Sediment & Stormwater / Storm Water Pollution Prevention Plan (SWPPP) been prepared?
 Yes No

Name of Receiving Waters/Watershed: _____

Total Land Area of Site (tenths of acres): _____

Types of Sediment and Stormwater Plans

- Roads and Infrastructure Plan
- Single Phased Residential Plan
- Multi-Phased Plan (usually residential)
- Commercial and Institutional Plans
- DelDOT Highway Plan

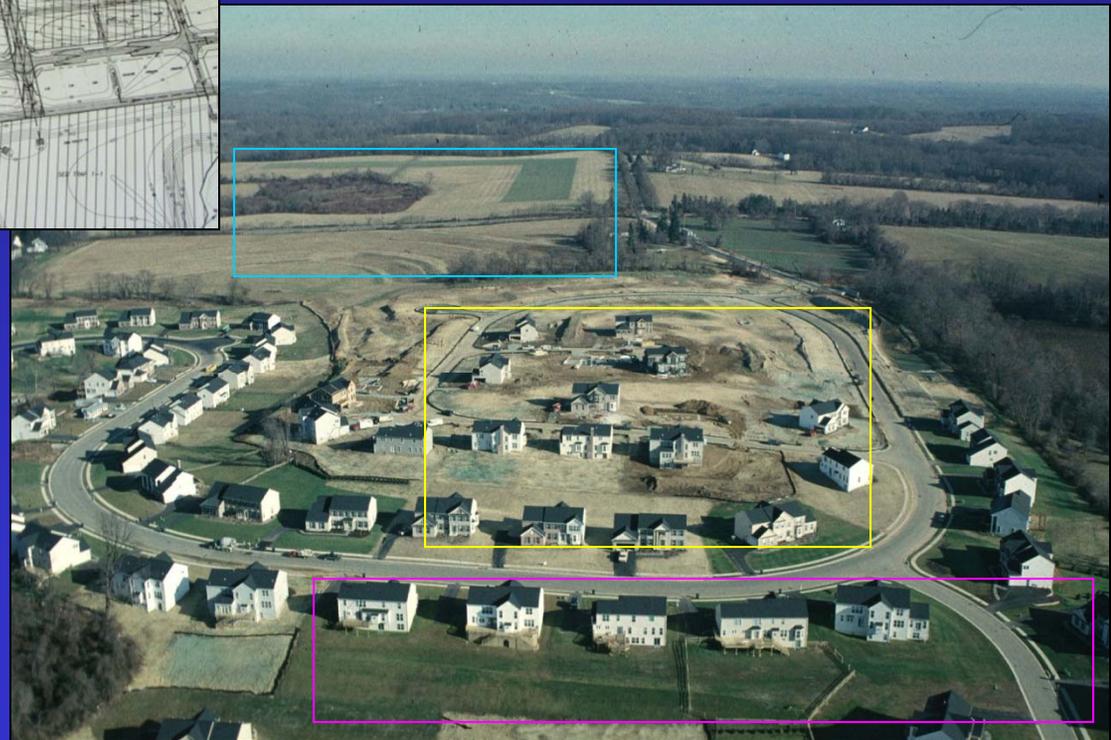
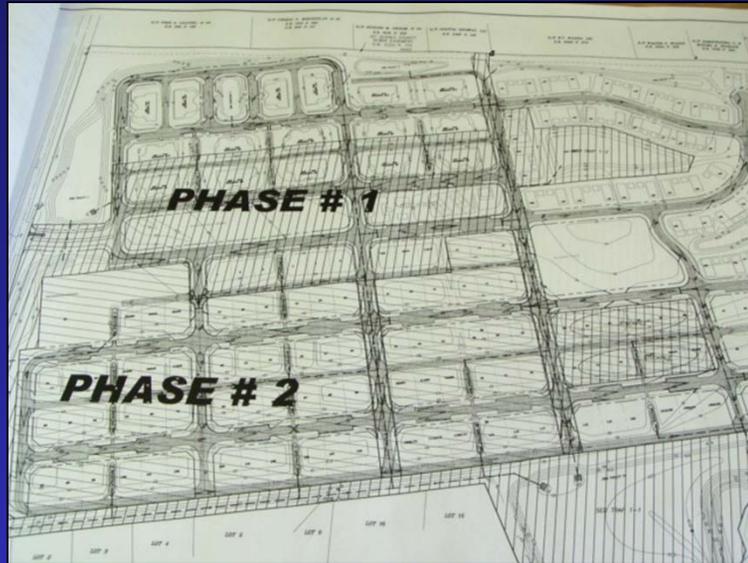
Roads and Infrastructure Plan



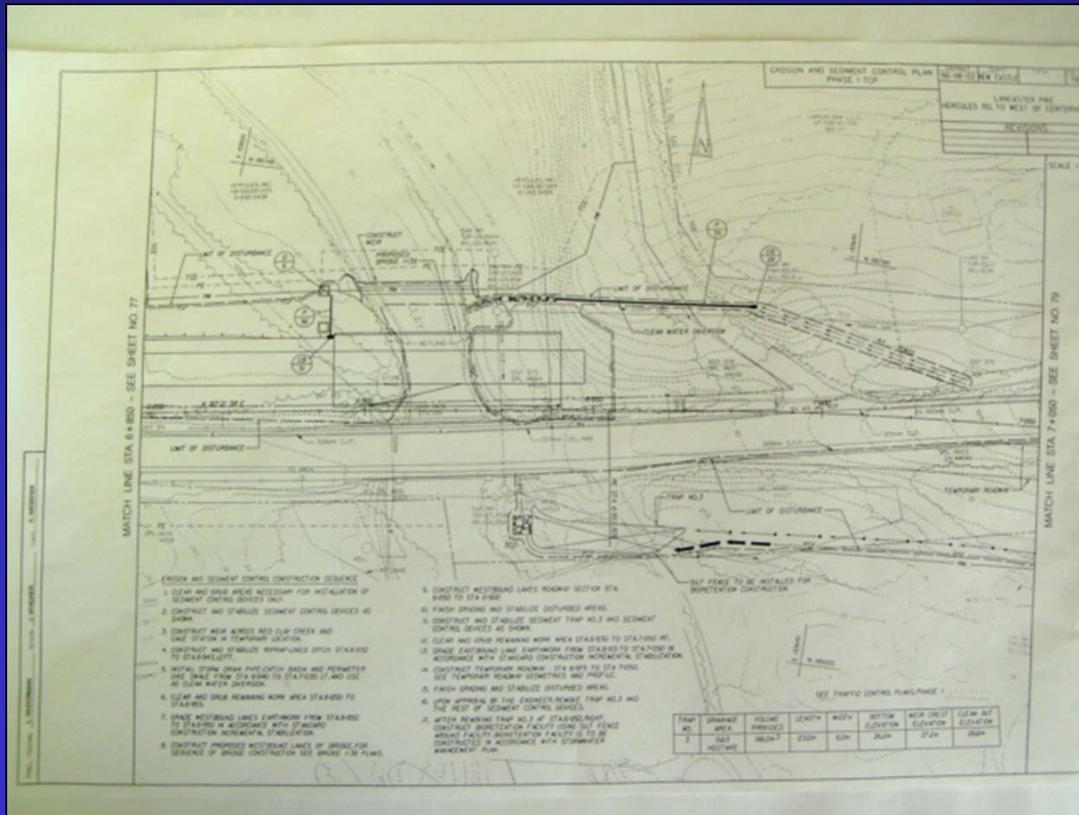
Single-Phase Residential Plan



Multi-Phase Residential Plan

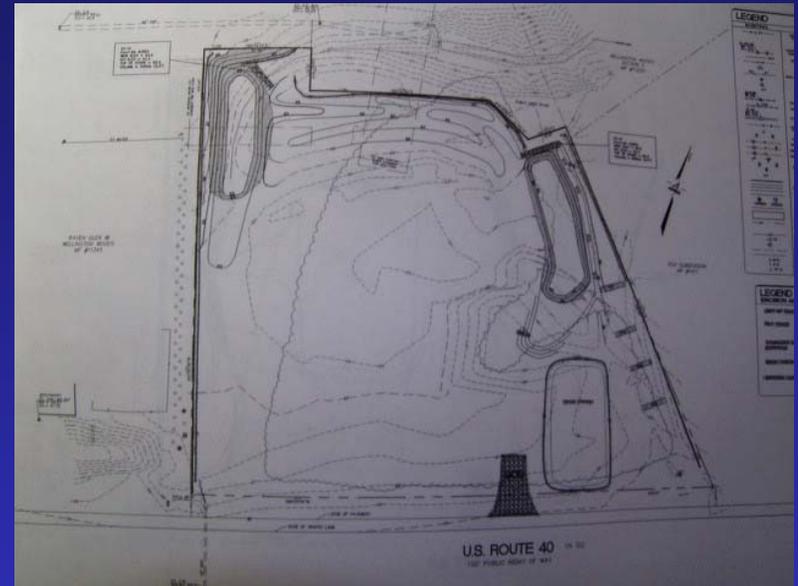


DelDOT Highway Plan



Bulk or Mass Grading Plan

- Perimeter controls established and reviewed.
- Usually system of dikes, traps and basins.
- Where to put the dirt?
- Requires review before proceeding with any building or infrastructure.

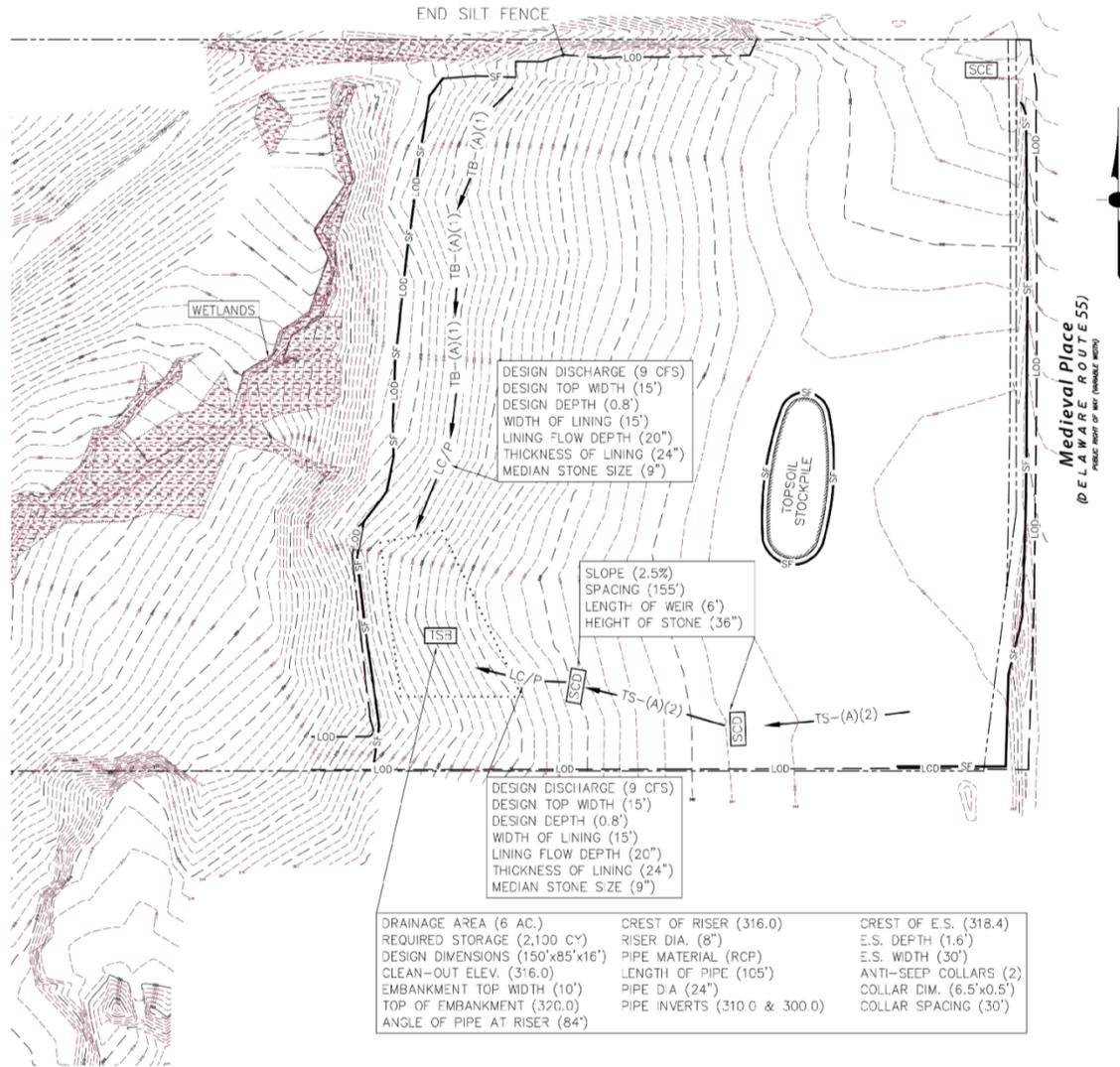


Residential Homebuilding Phase



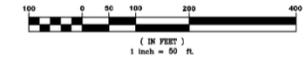
Erosion and Sediment Control Schematic Plan

- Graphical overview of ESC plan
- Basic site features
 - Existing topo
 - Wooded areas
 - Wetlands, etc.
- Legend
- Standard symbols
- Data for practices used



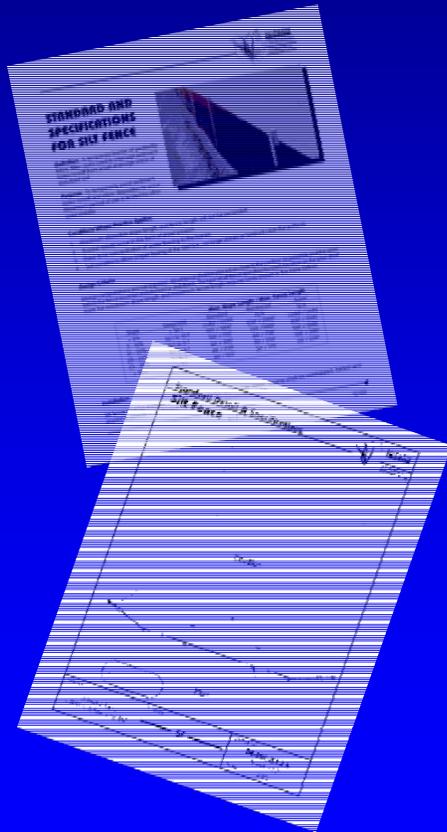
- LEGEND**
- SM-S STABILIZATION MATTING - SLOPE
 - SCD STONE CHECK DAM
 - IP-1 STORM INLET PROTECTION (TYPE-1)
 - IP-2 STORM INLET PROTECTION (TYPE-2)
 - TSB TEMPORARY SEDIMENT BASIN
 - SCE STABILIZED CONSTRUCT. ENTRANCE
- TS-(A)(2) TEMPORARY SWALE
 - LC/P LINED CHANNEL - PARABOLIC
 - TB-(A)(1) TEMPORARY EARTH BERM
 - SF SILT FENCE
 - LOD LIMIT OF DISTURBANCE
 - PROPERTY LINE
 - WETLANDS
 - BASIN AREA
 - PROPOSED CONTOUR
 - EXISTING CONTOUR

**EROSION & SEDIMENT CONTROL
SCHEMATIC PLAN
PRE-BULK GRADING PHASE
Lancelot Acres
40 Acres**



DATE	REVISION	APPROVAL	PERMANENT FILE 066/280	QA REVIEW	APPROVED BY
			DESIGNED BY MICKEY ROZITER	CHECKED BY	REFERENCE DRAWINGS
			PROJECT NO.	FILE NO.	SHEET 1 of 2
				REVISION	

3.0 Standards & Specifications as Outlined in the E&S Handbook

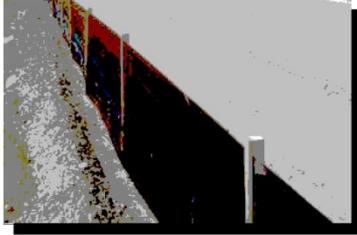


- 3.1 Sediment trapping practices
- 3.2 Dewatering practices
- 3.3 Water control practices
- 3.4 Soil stabilization practices
- 3.5 Waterway construction practices
- 3.6 Pollution prevention practices
- 3.7 Misc. practices

Typical Standard & Specifications



STANDARD AND SPECIFICATIONS FOR SILT FENCE



Definition: A temporary barrier of geotextile fabric (filter cloth) used to intercept sediment laden runoff from small drainage areas of disturbed soil.

Purpose: To temporarily pond sediment laden runoff and allow deposition to occur. Maximum period of use is limited by ultra-violet stability.

Conditions Where Practice Applies:

1. Maximum allowable slope length and fence length will not be exceeded.
2. Erosion would occur in the form of sheet erosion.
3. There is no concentration of water flowing to the barrier.
4. Soil conditions allow proper keying of the skirt (i.e., no large stones or bedrock near the surface).

Design Criteria

Design computations are not required. All silt fence shall be placed as close to the contour as possible and the area below the fence must be undisturbed or stabilized. The type of silt fence specified for each location on the plan shall meet the maximum slope length and maximum fence length requirements shown in the table below:

Slope	Steepness	Max. Slope Length / Max. Fence Length		
		Standard	Reinforced	Super
< 2%	< 50:1	Unltd / Unltd	N/A	N/A
2 - 10%	50:1 to 10:1	125' / 1000'	250' / 2000'	Unltd / Unltd
10 - 20%	10:1 to 5:1	100' / 750'	150' / 1000'	200' / 1500'
20 - 33%	5:1 to 3:1	60' / 500'	80' / 750'	100' / 1000'
33 - 50%	3:1 to 2:1	40' / 250'	70' / 350'	100' / 500'
> 50%	> 2:1	20' / 125'	30' / 175'	50' / 250'

Installation:

Silt fence shall be installed in accordance with the appropriate detail. Seams shall be overlapped, folded and stapled to provide a continuous section. *Butt joints are not acceptable.*

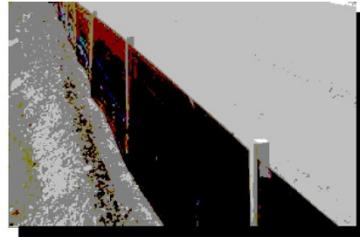
3.1.2 - 1 12/03

- Definition
- Purpose
- Conditions where practice applies
- Design criteria
- Date

Example Design Criteria



STANDARD AND SPECIFICATIONS FOR SILT FENCE



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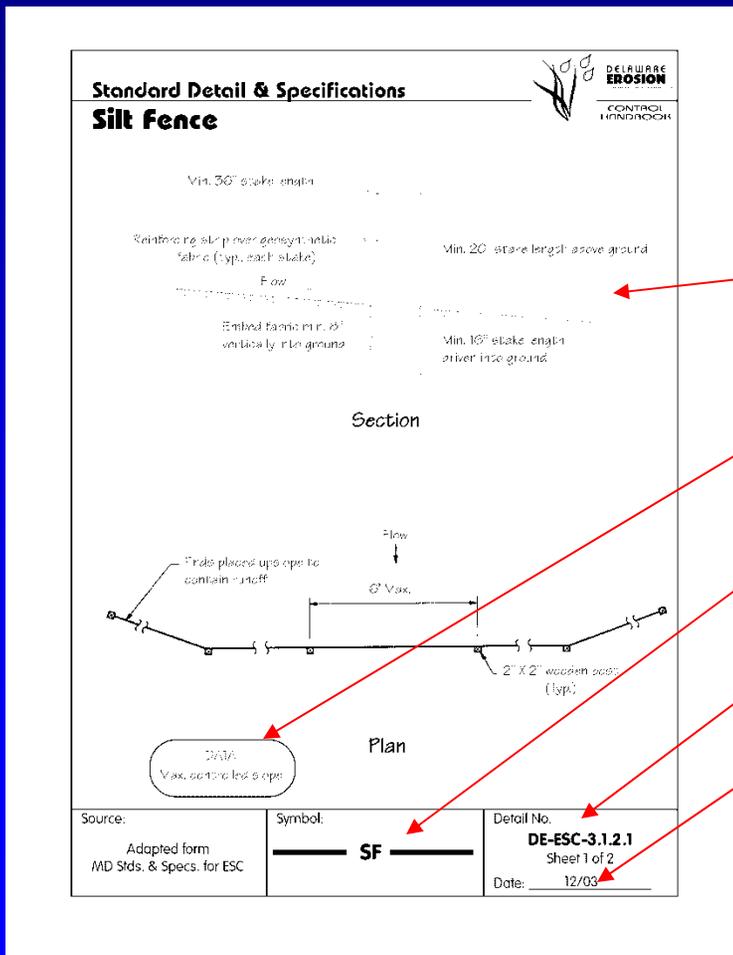
Slope	Steepness	Max. Slope Length / Max. Fence Length		
		Standard	Reinforced	Super
< 2%	< 50:1	Unltd / Unltd	N/A	N/A
2 - 10%	50:1 to 10:1	125' / 1000'	250' / 2000'	Unltd / Unltd
10 - 20%	10:1 to 5:1	100' / 750'	150' / 1000'	200' / 1500'
20 - 33%	5:1 to 3:1	60' / 500'	80' / 750'	100' / 1000'
33 - 50%	3:1 to 2:1	40' / 250'	70' / 350'	100' / 500'
> 50%	> 2:1	20' / 125'	30' / 175'	50' / 250'

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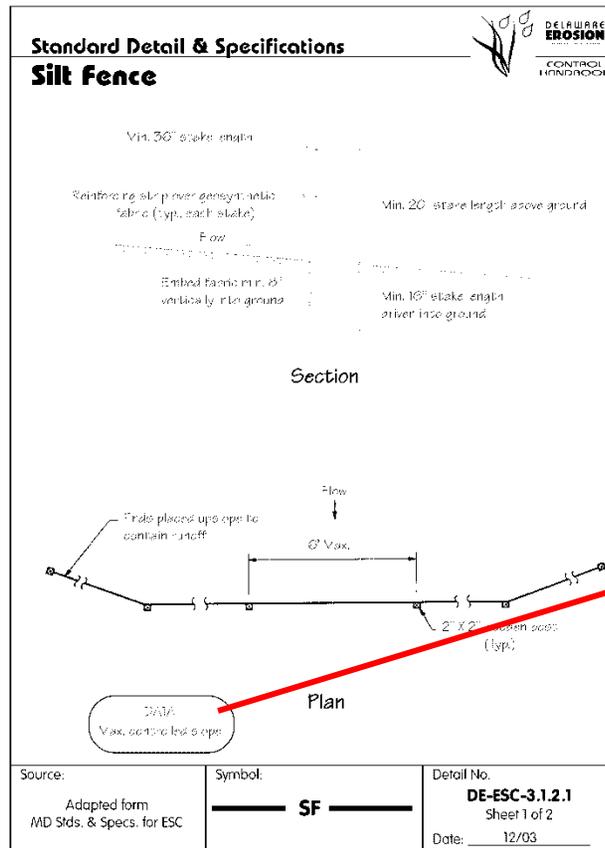
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		Standard	Reinforced	Super
< 2%	< 50:1	Unltd / Unltd	N/A	N/A
2 - 10%	50:1 to 10:1	125' / 1000'	250' / 2000'	Unltd / Unltd
10 - 20%	10:1 to 5:1	100' / 750'	150' / 1000'	200' / 1500'
20 - 33%	5:1 to 3:1	60' / 500'	80' / 750'	100' / 1000'
33 - 50%	3:1 to 2:1	40' / 250'	70' / 350'	100' / 500'
> 50%	> 2:1	20' / 125'	30' / 175'	50' / 250'

Typical Standard Detail – Sheet 1



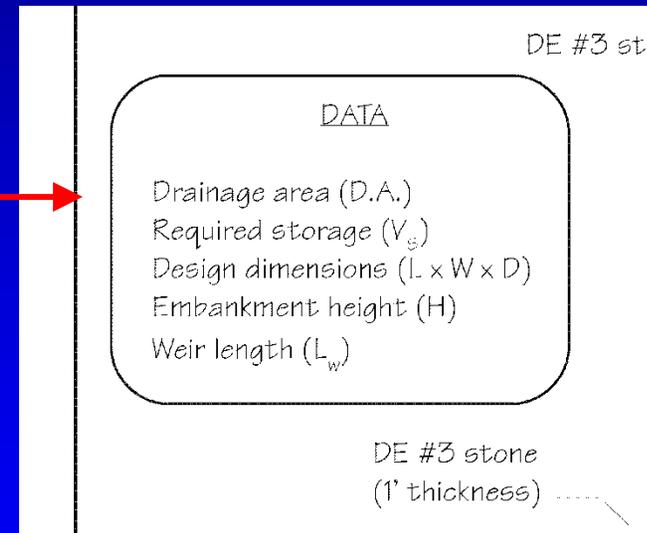
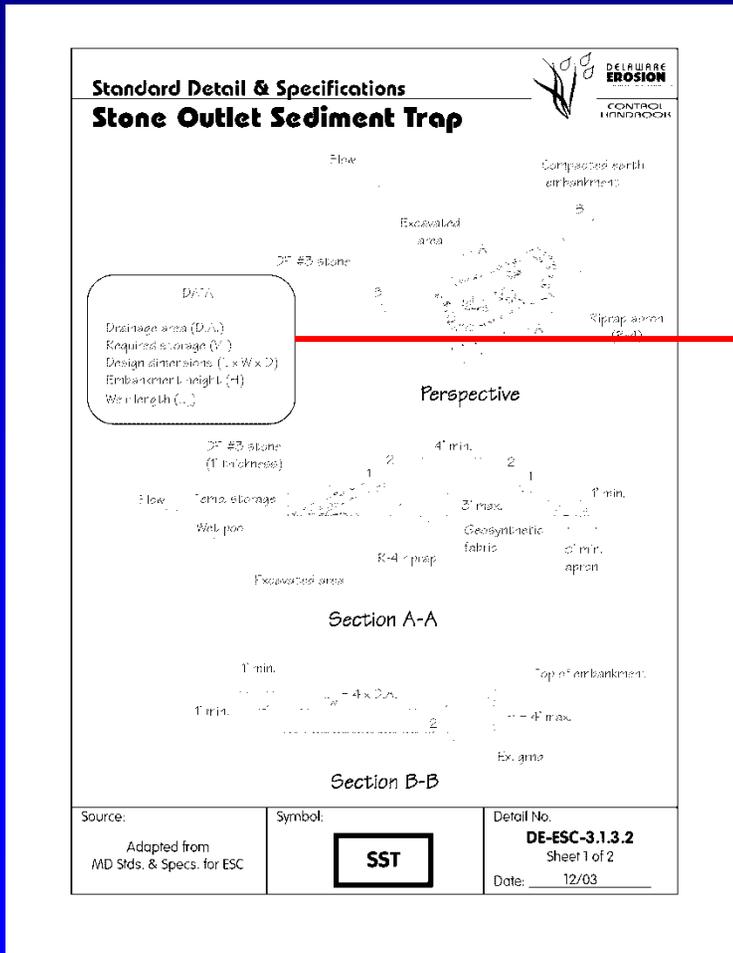
- Graphic
- Data
- Standard symbol
- Detail #
- Date

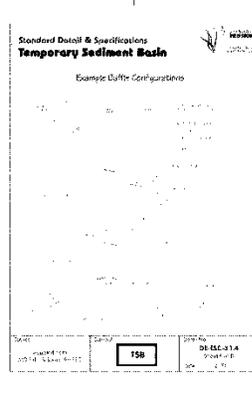
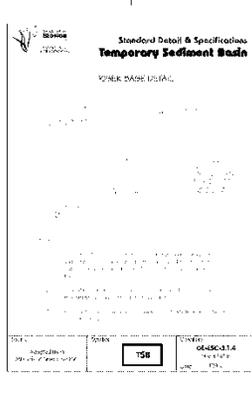
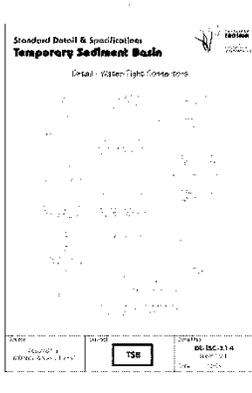
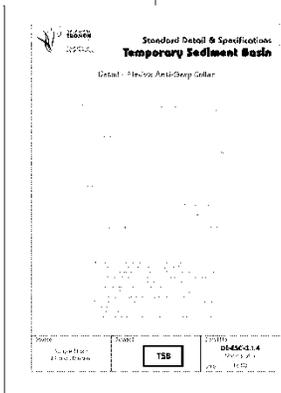
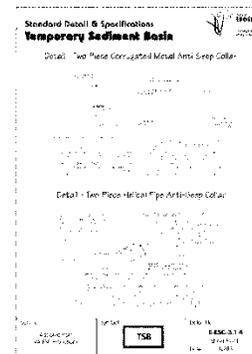
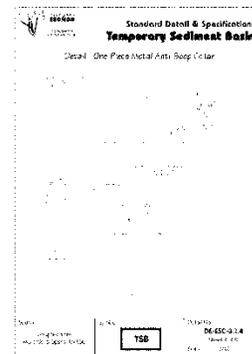
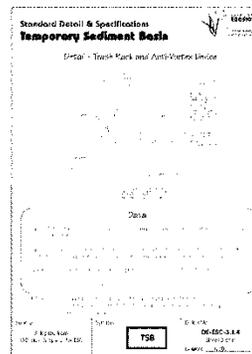
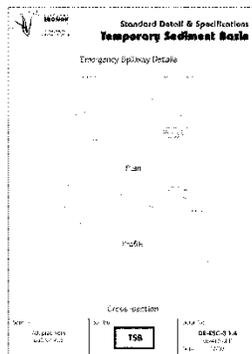
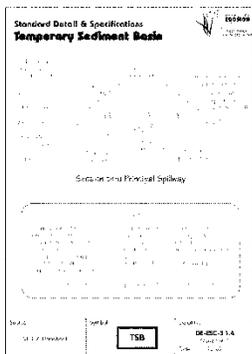
Example Data for Silt Fence



DATA
Max. controlled slope

Example Data for Sediment Trap





Standard Detail & Specifications
Temporary Sediment Basin

Construction Notes:

- Site Preparation:** The site must be prepared to receive the basin. The area must be cleared of debris and vegetation. The basin must be installed on a firm, level surface. The basin must be installed on a firm, level surface.
- Installation:** The basin must be installed in accordance with the manufacturer's instructions. The basin must be installed in accordance with the manufacturer's instructions.
- Operation:** The basin must be operated in accordance with the manufacturer's instructions. The basin must be operated in accordance with the manufacturer's instructions.
- Removal:** The basin must be removed in accordance with the manufacturer's instructions. The basin must be removed in accordance with the manufacturer's instructions.

Scale: 1" = 10'-0"

DATE: 04-26-14
DRAWN BY: [Redacted]
CHECKED BY: [Redacted]

TSB

Standard Detail & Specifications
Temporary Sediment Basin

Construction Notes (cont.)

- Emergency Spillway:** The emergency spillway must be installed in accordance with the manufacturer's instructions. The emergency spillway must be installed in accordance with the manufacturer's instructions.
- Water Barge:** The water barge must be installed in accordance with the manufacturer's instructions. The water barge must be installed in accordance with the manufacturer's instructions.
- Anti-Surge Collar:** The anti-surge collar must be installed in accordance with the manufacturer's instructions. The anti-surge collar must be installed in accordance with the manufacturer's instructions.
- Final Check:** The basin must be checked for proper installation and operation. The basin must be checked for proper installation and operation.

Scale: 1" = 10'-0"

DATE: 04-26-14
DRAWN BY: [Redacted]
CHECKED BY: [Redacted]

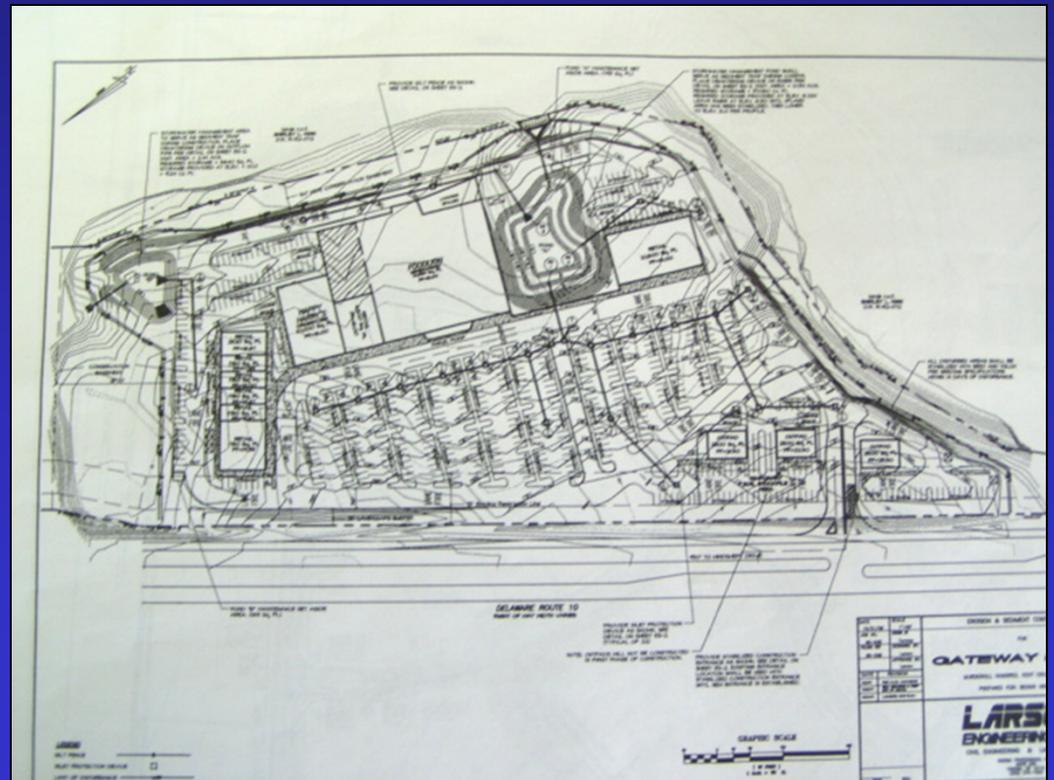
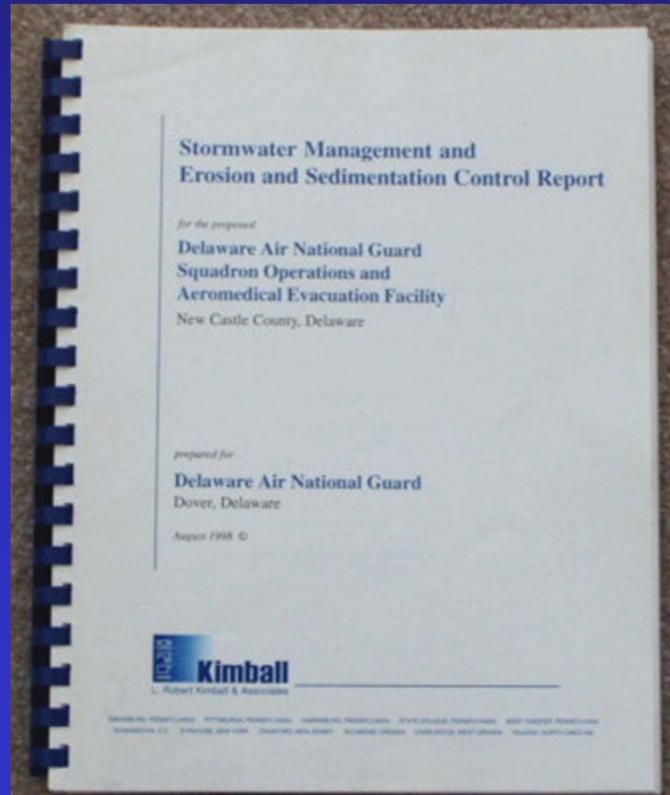
TSB

TEMPORARY SEDIMENT BASIN DETAIL SHEET

		VANDEMARK & LYNCH, INC. <small>PERMANENT FILE ANALYSIS SUBMITTERS</small> <small>4300 WILSON BLVD. SUITE 300 DALLAS, TEXAS 75243</small> <small>PHONE: 972.987.1100 FAX: 972.987.1101</small>	
PERMANENT FILE <small>DATE: 04/26/14</small>	ON REVIEW <small>DATE: 04/26/14</small>	APPROVED BY:	
DESIGNED BY: <small>DATE: 04/26/14</small>	CHECKED BY: <small>DATE: 04/26/14</small>	EXPENSE CHARGED:	
PROJECT NO: 20764	FILE NO: 36959-1	SHEET: 5 OF 5	REVISION:

Sediment and Stormwater Plan

- Design Report
- Designed Plan



Sediment and Stormwater Design Report

- Project Description
- Site Description
- Environmental Considerations
- Construction Description
- Stormwater Design Information
- Stormwater Pollution Prevention Plan (SWPPP)
- Technical Reports

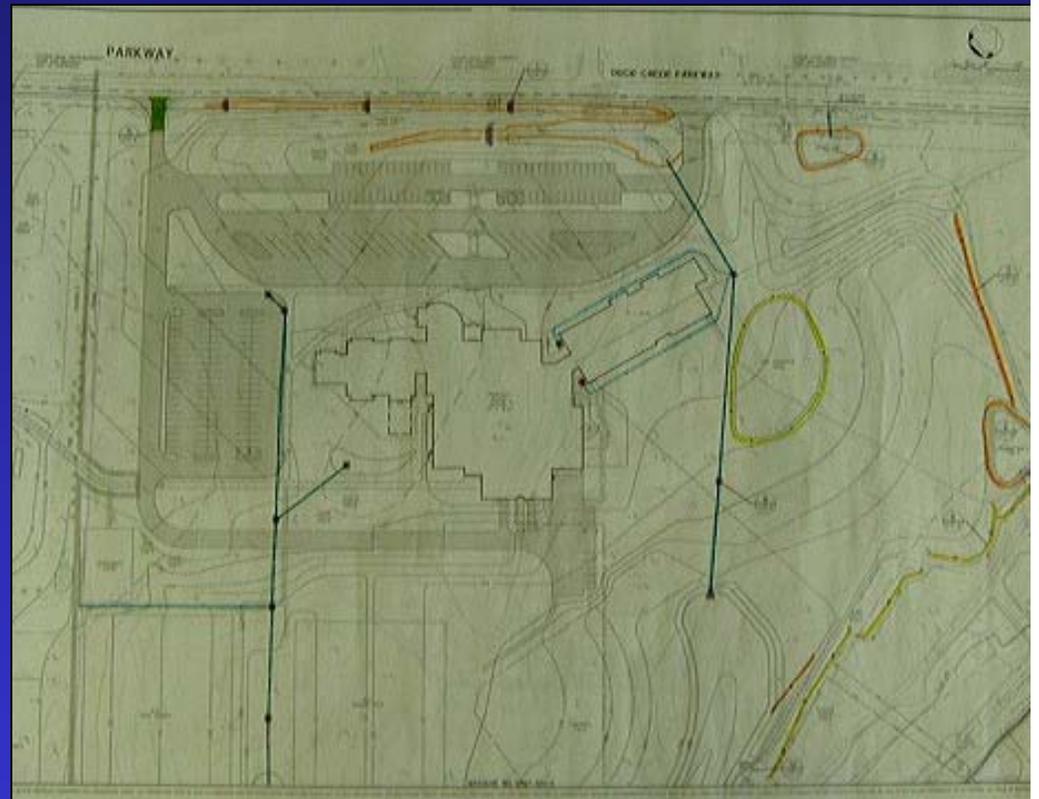
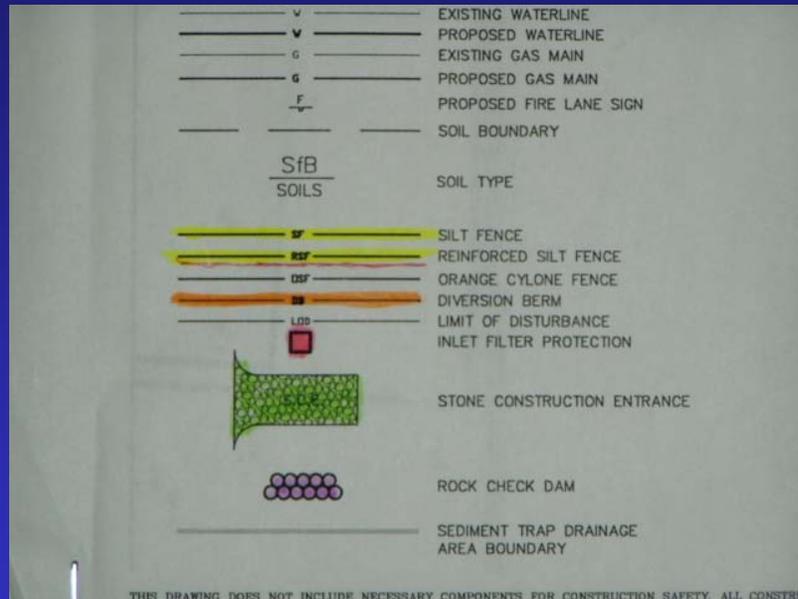
The Sediment and Stormwater Plan

- Required for all land disturbing activity unless exempted
- Must be approved before permits are issued
- Valid for three years unless extended
- Must be on site at all times

Interpreting the Sediment and Stormwater Plan



Getting To Know The Plan



ES NOT EXIST,
OTH.

PPROVED
LESS THAN

ES SHALL

S.



LATIONS
WORK

LOCATION MAP

SCALE: 1" = 40,000'

Sediment and Stormwater Plan

- Approvals
- Certifications
- Grading
- Legend
- Sediment and Stormwater Plan Views
- Written Information
- Details, Standards and Specifications

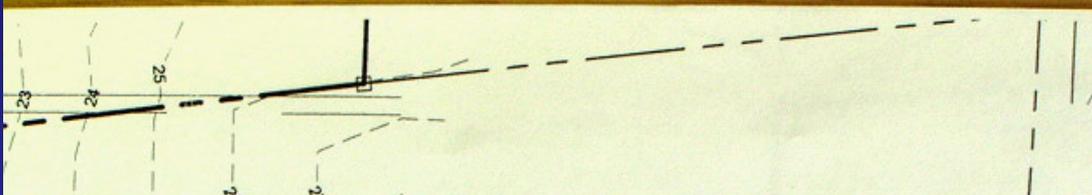
Approvals

APPROVED
SUSSEX CONSERVATION DISTRICT
SEDIMENT CONTROL & STORMWATER MANAGEMENT
Reviewed By Jess L. Waters Date 7/16/02
Approved By [Signature] Date 7/16/02

- No plan should be considered final unless the approval of the local review agency is on the plan.

Certifications

- Owner/Developer Certification To Implement Plan
- Responsible Person Certification
- Right of Entry Certification



OWNER CERTIFICATION:
I HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE LAND DISTURBING ACTIVITIES WILL HAVE A SEDIMENT AND STORMWATER MANAGEMENT CERTIFICATION FROM THE DELAWARE DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL. I HEREBY AUTHORIZE THE RIGHT OF ENTRY FOR PERIODIC ON SITE INSPECTIONS BY STATE OF DELAWARE, DEPARTMENT OF NATURAL RESOURCES AND ENVIRONMENTAL CONTROL COMPLIANCE PERSONNEL AND/OR AUTHORIZED AGENTS.

Craig Hudson 7/16/02

HUDSON - REED, L.L.C. DATE
30045 EAGLE'S NEST ROAD
UNIT 2
MILTON, DE 19968
(302) 645-2333

ADING

NETH R. CHRISTENBUR
REGISTERED

Grading

Reading and Interpreting Plans

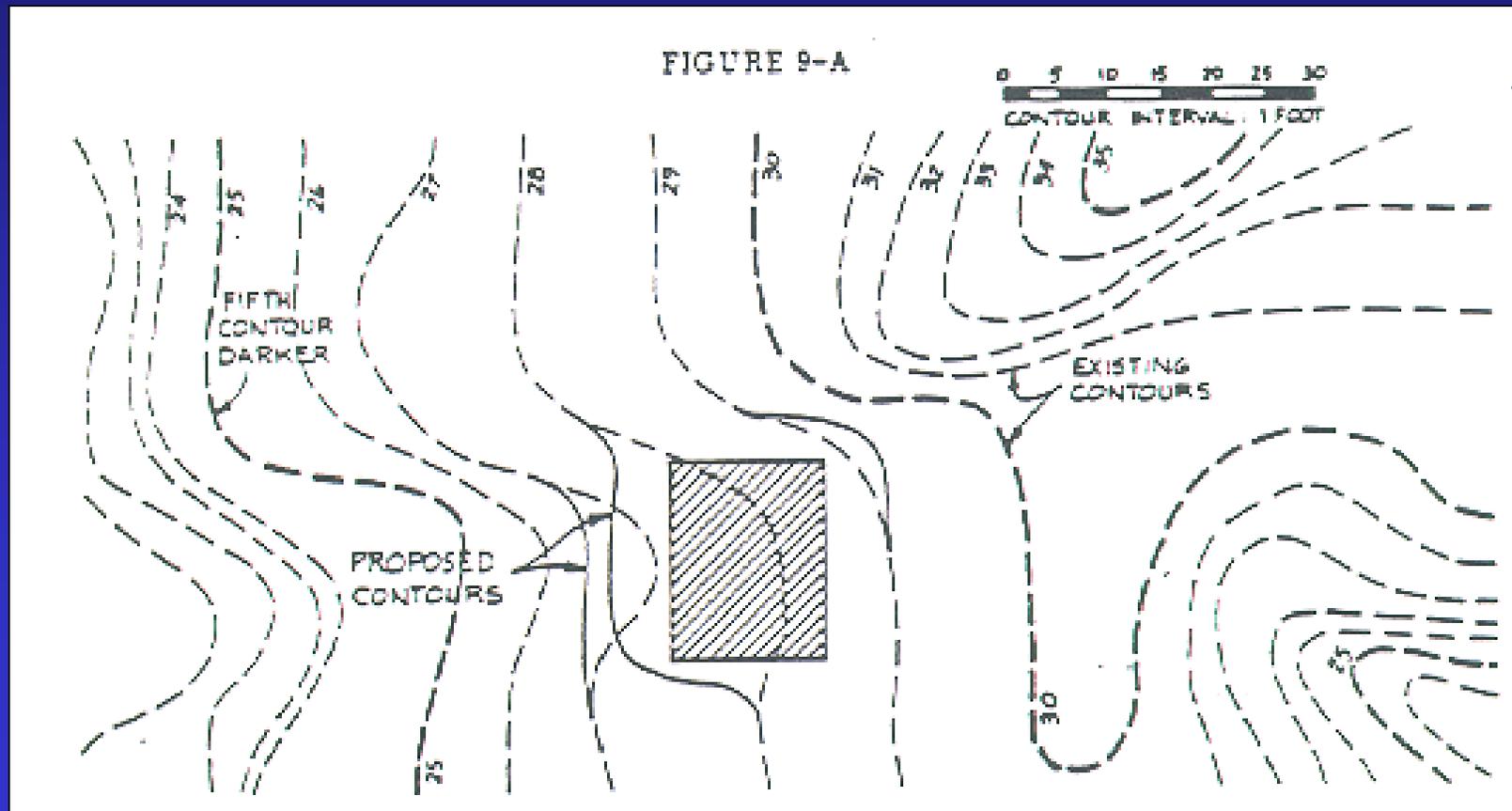
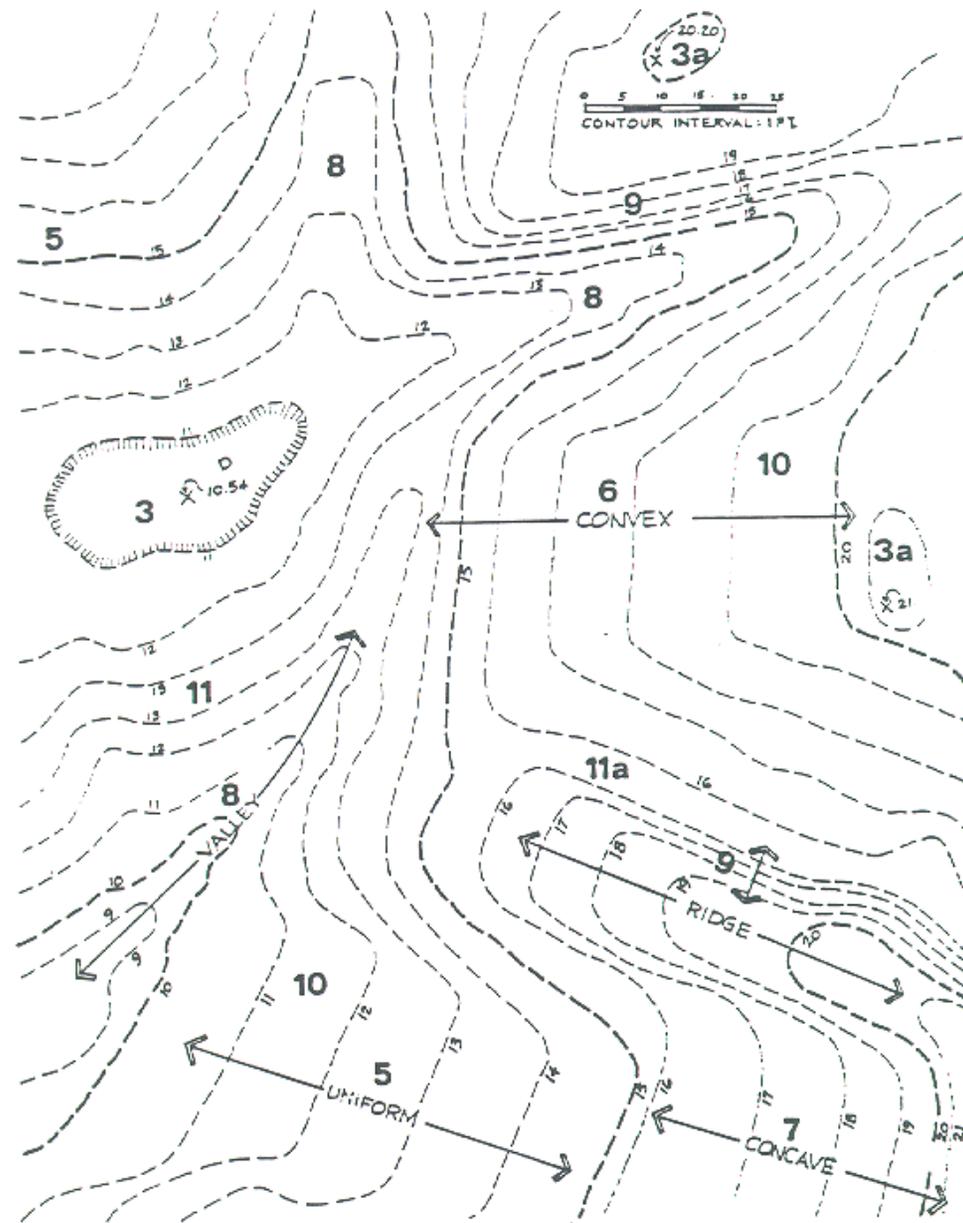


FIGURE 9-L

4/85



LEGEND



<u>PRACTICE</u>	<u>SYMBOL</u>
<i>3.1 Sediment Trapping Practices</i>	
3.1.1 Straw Bale Barrier	— SBB —
3.1.2 Silt Fence	
3.1.2.1 Standard Silt Fence	— SF —
3.1.2.2 Reinforced Silt Fence	— RSF —
3.1.2.3 Super Silt Fence	— SSF —
3.1.3 Sediment Traps	
3.1.3.1 Pipe Outlet Sediment Trap	PST
3.1.3.2 Stone Outlet Sediment Trap	SST
3.1.3.3 Riprap Outlet Sediment Trap	RST
3.1.4 Temporary Sediment Basin	TSB
3.1.5 Storm Drain Inlet Protection	
3.1.5.1 Inlet Protection - Type 1	IP-1
3.1.5.2 Inlet Protection - Type 2	IP-2
3.1.5.3 Inlet Protection - Type 3	IP-3

- Symbols for Erosion and Sediment Controls will be uniform with the current Standards and Specifications for Erosion and Sediment Control

Read The Legend Carefully

— — — Straw Bale





12. ANY DISTURBED AREAS OUTSIDE THE RIGHT-OF-WAY SHALL BE RESTORED TO ORIGINAL CONDITION IMMEDIATELY.

13. SITE IS TAX MAP PARCELS NO. 2-35-23-53 AND 2-35-23-58.

14. WETLANDS DELINEATION VERIFIED BY JURISDICTIONAL DETERMINATION (JD) APPL CENAP-OP-R-200100237-23, RED MILL POND; ECSI PROJ. NO.:2000238.

SITE NOTES:

1. THE MAXIMUM NUMBER OF DWELLING UNITS SHALL NOT EXCEED 300, AS FOLLOWS: 162 SINGLE FAMILY, 42 DUPLEX UNITS AND 96 MULTI-FAMILY UNITS. THERE SHALL BE NO APARTMENTS.
2. THE B-1 NEIGHBORHOOD BUSINESS AREA SHALL NOT EXCEED 1.5 ACRES AND SHALL BE RETAIL SALES RELATED ONLY, WITH NO SALES OF ALCOHOLIC BEVERAGES.
3. RESIDENTIAL BUILDING PERMITS SHALL NOT EXCEED 100 PER YEAR.
4. SITE PLAN REVIEW IS REQUIRED FOR THE MASTER PLAN AND EACH PHASE OF THE DEVELOPMENT.
5. MULTI-FAMILY BUILDINGS SHALL ONLY BE LOCATED IN THE NORTHEAST SECTION OF THE PROPERTY ADJACENT TO THE C-1 ZONED LAND ALONG ROUTE 1 AND THE BUILDING STYLE SHALL BE SIMILAR TO THE "BIG-HOUSE"

Written Information

- General Notes
- Contact Information
- Construction Notes
- Vegetative Specifications
- Requirements of Regulations
- Sequence of Construction

General Notes

12. EROSION CONTROL MATTING IS REQUIRED IN OPEN CHANNELS AND ON SLOPES OF 3:1 OR GREATER.

13. LOCATE STOCKPILES ON AREAS WITH LITTLE OR NO SLOPE. STOCKPILES MUST BE SURROUNDED WITH SILT FENCE OR A STABILIZED EARTHEN BERM.

14. STOCKPILING OR EXCAVATED MATERIAL OUTSIDE OF THE CONTRACT AREA SHALL REQUIRE AN ADDITIONAL EROSION AND SEDIMENT CONTROL PLAN FOR THAT LOCATION. PLAN MUST BE SUBMITTED AND APPROVED BY THE SUSSEX CONSERVATION DISTRICT.

15. CONTRACTOR SHALL MAINTAIN AND REPAIR ALL EROSION AND SEDIMENT CONTROL AND STORM WATER MANAGEMENT PRACTICES DAMAGED DURING UTILITY INSTALLATION.

16. REVIEW AND OR APPROVAL OF THE SEDIMENT AND STORM WATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE SEDIMENT AND STORM WATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.

17. MAINTENANCE OF THE STORM WATER MANAGEMENT AREA IS TO BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE STATE AND COUNTY ASSUME NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE AREA.

18. ANY FUTURE SPOIL MATERIAL GENERATED DURING POND MAINTENANCE IS TO BE HAULED OFF-SITE AND DISPOSED OF IN AN APPROVED MANNER.

19. TO PREVENT OR REDUCE MOVEMENT OF DUST FROM DISTURBED SOIL SURFACES, THE CONTRACTOR SHALL SPRINKLE THE SITE WITH WATER UNTIL THE SURFACE IS MOIST AND REPEAT AS NECESSARY.

20. "APPROVAL OF A SEDIMENT AND STORM WATER PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORM WATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS ,ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS."

Contact Information

OWNER: OCEAN ATLANTIC ASSOCIATES V, LLC.
4101 HIGHWAY ONE
REHOBOTH BEACH, DE. 19971

CONTACT: WENDY BAKER
(302) 227-6349

START CONSTRUCTION: SEPT. 2002
END CONSTRUCTION: SEPT. 2003

TOTAL AREA OF SITE: 103.08 AC.
AREA TO BE DISTURBED: 99 AC.

ENGINEER: GEORGE, MILES & BUHR, LLC
206 WEST MAIN STREET
DOWNTOWN PLAZA
SALISBURY, MD 21801

CONTACT: JAMES WILLEY, P.E.
(410) 742-3115

Construction Notes

19. TO PREVENT OR REDUCE MOVEMENT OF DUST FROM DISTURBED SOIL SURFACES, THE CONTRACTOR SHALL SPRINKLE THE SITE WITH WATER UNTIL THE SURFACE IS MOIST AND REPEAT AS NECESSARY.

20. "APPROVAL OF A SEDIMENT AND STORM WATER PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORM WATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS ,ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS."

21. A CERTIFIED CONSTRUCTION REPRESENTATIVE IS REQUIRED ON SITE.

22. REGARDLESS OF PHASING PLAN OR SCHEDULE NO MORE THAN 20 ACRES MAY BE DISTURBED AT ONE TIME.

23. CONTRACTOR IS RESPONSIBLE FOR PERIODICALLY REMOVING SEDIMENT FROM THE SEDIMENT BASINS, AND MUST ALSO DO SO WHEN DIRECTED BY THE SCD INSPECTOR.

24. CONTRACTOR SHALL LINE ALL STORM WATER MANAGEMENT FACILITIES AND BIOFILTRATION AREAS WITH EROSION CONTROL MATTING (SEE DETAIL SHEET C3.4). FOR BIOFILTRATION AREAS WITH MULCH AND VEGETATION BOTTOMS, MATTING SHALL BE USED TO STABILIZE THE BANKS.

25. CONTRACTOR SHALL SURVEY AS-BUILT POND DRAWINGS AND SEND TO SCD ON ALL SWM FACILITIES.

Vegetative Specifications

PERMANENT SEEDING NOTES

SEEDBED PREPARATION:

LOOSEN UPPER 4 INCHES OF SOIL BY DICING, RAKING, OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.

SOIL AMENDMENTS:

APPLY 1-2 TONS PER ACRE (46-92 LBS/1000 SQ. FT.) OF DOLOMITIC LIMESTONE AND 600 LBS PER ACRE (14 LBS/1000 SQ. FT.) OF 10-10-10 FERTILIZER.

SEEDING:

FOR PERIODS OF SEPTEMBER 1 THROUGH NOVEMBER 15 AND MARCH 1 THROUGH MAY SEED WITH 210-230 LBS PER ACRE (5 LBS/1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE. FOR PERIODS OF NOVEMBER 15 THROUGH FEBRUARY, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING.

MULCHING:

APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LB/1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATIONS USING A SYNTHETIC BINDER SUCH AS ACRYLIC DLR (AGRI-TAC) DCA-70. PETROSET OR TERRA TACK AT RATES RECOMMENDED BY THE MANUFACTURER.

MAINTENANCE:

INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS, AND RESEEDINGS.

Requirements of Regulations

18. ALL EXCESS MATERIALS TO BE REMOVED OFF-SITE AND DISPOSED OF IN AN APPROVED MANNER.

19. TO PREVENT OR REDUCE MOVEMENT OF DUST FROM DISTURBED SOIL SURFACES, THE CONTRACTOR SHALL SPRINKLE THE SITE WITH WATER UNTIL THE SURFACE IS MOIST AND REPEAT AS NECESSARY.

20. "APPROVAL OF A SEDIMENT AND STORM WATER PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORM WATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS ,ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS."

21. A CERTIFIED CONSTRUCTION REPRESENTATIVE IS REQUIRED ON SITE.

22. REGARDLESS OF PHASING PLAN OR SCHEDULE NO MORE THAN 20 ACRES MAY BE DISTURBED AT ONE TIME.

23. CONTRACTOR IS RESPONSIBLE FOR PERIODICALLY REMOVING SEDIMENT FROM THE SEDIMENT BASINS, AND MUST ALSO DO SO WHEN DIRECTED BY THE SCD INSPECTOR.

24. CONTRACTOR SHALL LINE ALL STORM WATER MANAGEMENT FACILITIES AND BIOFILTRATION AREAS WITH EROSION CONTROL MATTING (SEE DETAIL SHEET C3.4). FOR BIOFILTRATION AREAS WITH MULCH AND VEGETATION BOTTOMS, MATTING SHALL BE

You Are the CCR-Now What?

Do a quick check of the approved plan

- Approvals and Signatures
- Contact Information
- Certification Blocks Signed
- Limit Of Disturbance
- 14 Day Stabilization Statement
- Sequence Of Construction
- Basin And Trap Drainage Areas
- Appropriate Perimeter Controls
- Outlet Points Controlled
- Standard And Specs For Each Practice



You Are the CCR

Now What?

- Prepare project file/contact names/phone numbers/addresses
- Contact project representative and contractor to make sure that you are notified of the pre-construction meeting
- Review/Highlight the approved plan
- Make notes and write down questions of anything that does not make sense on the plan

Attend the Preconstruction Meeting

- Meet on-site before construction starts
- Meet key people involved in the project
 - Owner/Developer, Contractor, Subcontractor, Local Agency Reviewer, Utilities, Other Agencies
- Exchange contact information for all persons connected with the project
- Review the plan requirements for Sediment and SW and go through the Sequence of Construction
- Discuss the notification requirements for the CCR
- Review the construction access

Preconstruction Meeting

- Discuss conflicts or requested changes to the approved plan with the contractor before construction starts
 - Substitution of materials
 - Change in the sequence of construction
 - Unfamiliarity with practices and specifications
 - Elimination or substitution of control practices
- Discuss chain of command for communication and written correspondence
- Establish the Blue Card Holder
- Review the Pollution Prevention specs
- Discuss requirements for NPDES Permit Termination

Sequence of Construction

SEQUENCE OF OPERATIONS

1. NOTIFY THE SUGGS CONSERVATION DISTRICT IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORM WATER MANAGEMENT PLAN.

PHASE 1 (2.00 ACRES)

2. INSTALL STABILIZED CONSTRUCTION ENTRANCE FOR PHASE 1.
3. INSTALL PERIMETER CONTROLS, INCLUDING BERM ALONG SOUTHWESTERN BORDER OF PROPERTY. SEE NOTE 8 ON SHEET C1.3, NOTE 1 ON SHEET C1.6 AND NOTE 9 ON SHEET C1.7.
4. ROUGH GRADE PHASE 1 BIOFILTRATION AREAS AND STORM WATER MANAGEMENT FACILITIES. INSTALL OUTLET CONTROL DEVICES, BLOCK LOW FLOW DRIFTS WITH #57 STONE TO OVER PERFORATED PIPE AND HICKENBOTTOM RISER. CONNECT PIPE TO LOW FLOW ORIFICE. PROVIDE NECESSARY STUDS IN OUTFALLS TO CONNECT OUTFALL DEVICE TO STORM DRAIN SYSTEM AND UNDERDRAIN SYSTEM.
5. INSTALL SEDIMENT TRAP 1, SEDIMENT TRAP 2 AND SEDIMENT TRAP 4.
6. STRIP TOPSOIL AND STOCKPILE AT DESIGNATED LOCATION.
7. ROUGH GRADE SITE.
8. INSTALL OUTLET PROTECTION AT STORM DRAIN OUTFALLS.
9. BEGIN STORM DRAIN CONSTRUCTION FOR PHASE 1, INCLUDING STORM SEWER MAINS ALONG WEST ANNE LANE AVE. AND WEST SALLIE ROSS BEND. PROVIDE STUDS TO BIOFILTRATION AREAS TO CONNECT BIOFILTRATION UNDERDRAINS TO STORM DRAIN SYSTEM. INSTALL INLET PROTECTION AS INLETS ARE INSTALLED.
10. INSTALL ALL OTHER UTILITIES IN PHASE 1 STREETS.
11. STABILIZE ALL AREAS DESIGNATED FOR PAVING, CURB, SIDEWALK, ETC.
12. STABILIZED DISTURBED STREET AREAS NOT TO BE PAVED OR FINE GRADED UNDER PHASE 1.
13. FINE GRADE AREA.
14. SEED, MULCH AND FERTILIZE DISTURBED AREAS.
15. REMOVE AND DISPOSE COLLECTED SEDIMENT FROM ALL PHASE 1

16. ROUGH GRADE PHASE 2, INCLUDING SWAGE FIELD.
17. INSTALL PHASE 2 STORM DRAIN. PHASE 2 INLET PROTECTION AS INLETS ARE INSTALLED.
18. FINE GRADE SWAGE FIELD, SEED, MULCH AND FERTILIZE.
19. INSTALL ALL OTHER UTILITIES IN PHASE 2 STREETS.
20. STABILIZE ALL AREAS DESIGNATED FOR PAVING, CURB, SIDEWALK, ETC.
21. STABILIZED DISTURBED STREET AREAS NOT TO BE PAVED OR FINE GRADED UNDER PHASE 2.
22. FINE GRADE AREA.
23. SEED, MULCH AND FERTILIZE DISTURBED AREAS.
24. REMOVE AND DISPOSE COLLECTED SEDIMENT FROM ALL PHASE 2 BIOFILTRATION AREAS.
25. UNDERCUT BIORETENTION AREAS TO ELEVATIONS SHOWN ON BIORETENTION DETAIL. INSTALL UNDERDRAIN SYSTEM AND SAND AND GRAVEL BEDDING. CONNECT UNDERDRAIN SYSTEM TO STORM SEWER MAIN OR OUTLET CONTROL STRUCTURE, AS SHOWN.
26. INSTALL TOP COAT OF BITUMINOUS PAVING.
27. PLANT VEGETATION SPECIFIED FOR THE PHASE 2 BIORETENTION AREAS (DRM 1 AND DRM 2).
28. REMOVE STONE, FILTER FABRIC AND DRAINAGE PIPE FROM PHASE 2 BIOFILTRATION AREAS.

PHASE 4 (1.00 ACRES)

29. INSTALL STABILIZED CONSTRUCTION ENTRANCE FOR PHASE 4, 5 & 6.
30. ROUGH GRADE BIOFILTRATION AREA C AND USE AS SEDIMENT TRAP 4-3 DURING CONSTRUCTION. INSTALL DRM CONTROL STRUCTURE. BLOCK LOW FLOW ORIFICE WITH FILTER FABRIC AND #57 STONE.
31. INSTALL SEDIMENT TRAP 5-1. INSTALL TEMPORARY DRILE FROM SEDIMENT TRAP 5-1 TO EXISTING 36" CULVERT ON BESSY LAKE.
32. RELOCATE SOIL STOCKPILE.



I wish we would have had a preconstruction meeting !

Don't end up like these folks !